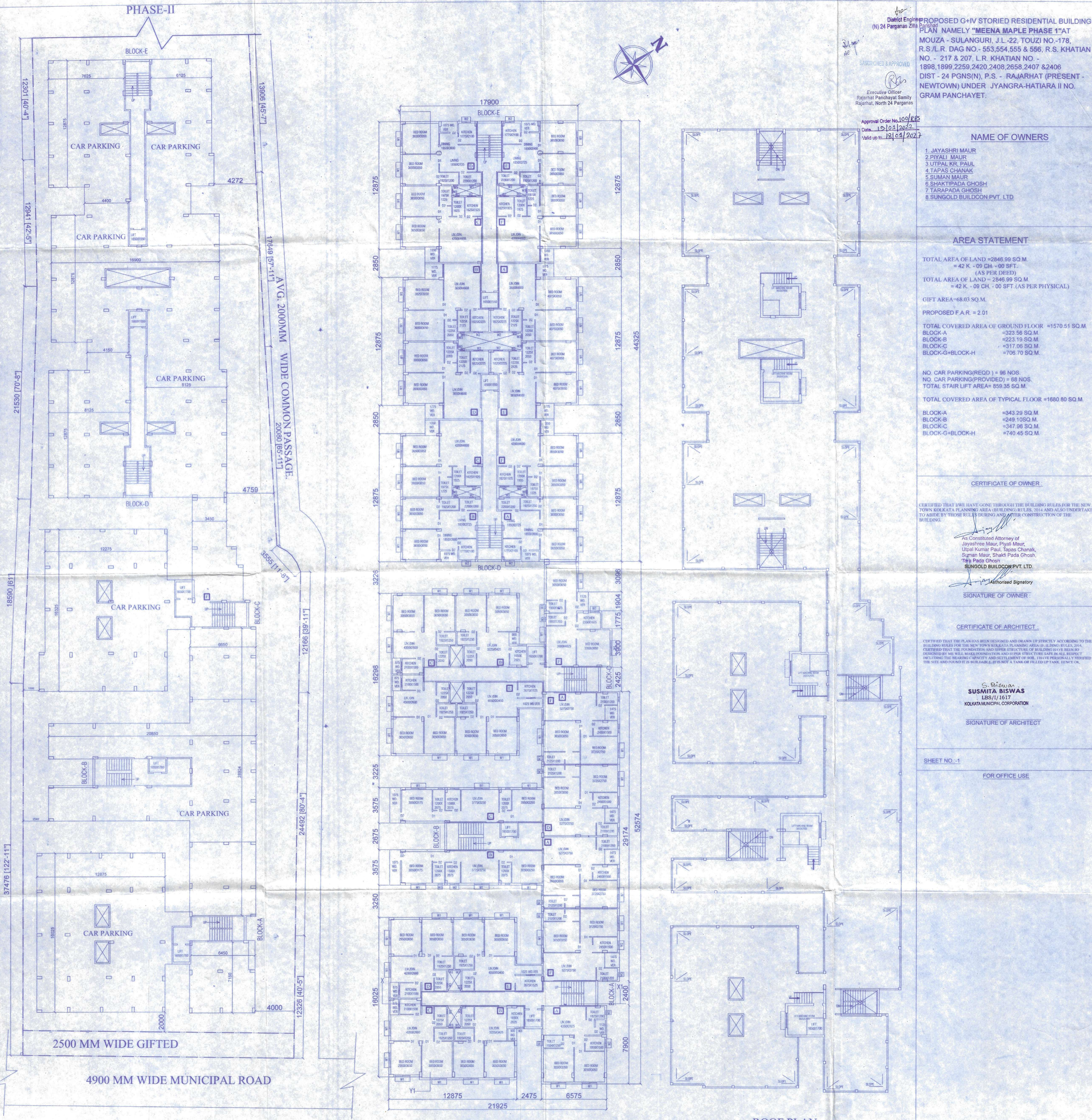


The structural analysis reports & soil reports are kept for reference in this office. The clearance is accorded subject to certificate of architect, Str. Engineer, Geo-Tech Engineer.

District Engineer
(N) 24 Parganas Zilla
District Engineer
Rajshahi Panchayat Samity
Rajshahi, North 24 Parganas

PROPOSED G+IV STORED RESIDENTIAL BUILDING
PLAN NAMELY "MEENA MAPLE PHASE 1" AT
MOUZA - SULANGURI, J.L.-22, TOUZI NO.-178,
R.S./L.R. DAG NO. - 553,554,555 & 556, R.S. KHATIAN
NO. - 217 & 207, L.R. KHATIAN NO. -
1898, 1899, 2259, 2420, 2408, 2658, 2407 & 2406
DIST - 24 PGNS(N), P.S. - RAJARHAT (PRESENT -
NEWTOWN) UNDER JYANGRA-HATIARA II NO.
GRAM PANCHAYET.

Approval Order No. 100/R/S
Date: 15/04/2022
Valid up to: 18/04/2027



NAME OF OWNERS

1. JAYASHRI MAUR
2. PIYALI MAUR
3. UTTAL KR. PAUL
4. TAPAS CHANAK
5. SUMAN MAUR
6. SHAKTIPADA GHOSH
7. TARAPADA GHOSH
8. SUNGOLD BUILDCON PVT. LTD.

AREA STATEMENT

TOTAL AREA OF LAND = 2846.99 SQ.M.
= 42 K - 09 CH - 00 SFT.
(AS PER DEED)
TOTAL AREA OF LAND = 2846.99 SQ.M.
= 42 K - 09 CH - 00 SFT. (AS PER PHYSICAL)

GIFT AREA = 68.03 SQ.M.

PROPOSED F.A.R. = 2.01

TOTAL COVERED AREA OF GROUND FLOOR = 1570.51 SQ.M.
BLOCK-A = 323.56 SQ.M.
BLOCK-B = 223.19 SQ.M.
BLOCK-C = 317.06 SQ.M.
BLOCK-G+BLOCK-H = 706.70 SQ.M.

NO. CAR PARKING (REQD.) = 96 NOS.
NO. CAR PARKING (PROVIDED) = 88 NOS.
TOTAL STAIR LIFT AREA = 859.35 SQ.M.

TOTAL COVERED AREA OF TYPICAL FLOOR = 1680.80 SQ.M.
BLOCK-A = 343.29 SQ.M.
BLOCK-B = 249.10 SQ.M.
BLOCK-C = 347.96 SQ.M.
BLOCK-G+BLOCK-H = 740.45 SQ.M.

CERTIFICATE OF OWNER

CERTIFIED THAT I/WE HAVE GONE THROUGH THE BUILDING RULES FOR THE NEW TOWN KOLKATA PLANNING AREA (BUILDING) RULES, 2014 AND ALSO UNDERTAKE TO ABIDE BY THOSE RULES DURING AND AFTER CONSTRUCTION OF THE BUILDING.

(Signature)
As Constituted Attorney of
Jayashree Maur, Piyali Maur,
Uttal Kumar Paul, Tapas Chanak,
Suman Maur, Shakti Pada Ghosh,
Taryu Pada Ghosh
SUNGOLD BUILDCON PVT. LTD.
(Signature)
Authorized Signatory

SIGNATURE OF OWNER

CERTIFICATE OF ARCHITECT

CERTIFIED THAT THE PLAN HAS BEEN DESIGNED AND DRAWN UP STRICTLY ACCORDING TO THE BUILDING RULES FOR THE NEW TOWN KOLKATA PLANNING AREA (BUILDING) RULES, 2014. CERTIFIED THAT THE FOUNDATION AND SUPER STRUCTURE OF BUILDING HAVE BEEN SO DESIGNED BY ME/US THAT FOUNDATION AND SUPER STRUCTURE ARE SAFE IN ALL RESPECT INCLUDING THE BEARING CAPACITY AND SETTLEMENT OF SOIL. I/WE PERSONALLY VISITED THE SITE AND FOUND IT IS BUILDABLE. (IT IS NOT A TANK OR FILLED UP TANK. HENCE OK.)

S. Biswas
SUSMITA BISWAS
LBS/1/1617
KOLKATA MUNICIPAL CORPORATION

SIGNATURE OF ARCHITECT

SHEET NO. -1

FOR OFFICE USE

GROUND FLOOR PLAN

TYPICAL FLOOR PLAN

ROOF PLAN